

INSPECTION OF STAIRWELLS AND 3rd FLOOR WALKWAYS FOR LIGHTHOUSE HARBOR CONDOMINIUMS

October 3, 2022



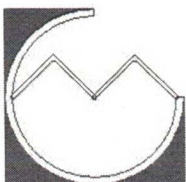
Submitted By:

Larry M. Oliver Enterprises, Inc.

Mobile, AL 36619

7228 Oakbriar Drive South

<https://www.oliverengineer.com>



INSPECTION REPORT

INTRODUCTION

Larry M. Oliver Enterprises, Inc. was charged with the task of inspecting the existing stairwells and 3rd Floor walkways located at 7300 Lakeshore Drive New Orleans, Louisiana, for Lighthouse Harbor Condominiums.

SITE VISIT AND OBSERVATIONS

Larry M. Oliver Enterprises, Inc. performed a site visit on September 20, 2022 and September 22, 2022, and recorded observations of the existing building's condition.

Stairwells

The engineers inspected the existing steel stairwells on the East face of the building for significant corrosion. Images of corroded areas were taken and can be seen below. The corrosion in the stairwells can be categorized into two levels. The first level requires cleaning of the existing steel members and applying a new coating to the member. The second level requires removal of deteriorated sections and installing additional steel to repair the deteriorated section. The material should be replaced in kind with new material and welded in place. Refer to specifications below for proper repair methods.

3rd Floor Balcony

The engineers inspected the 3rd level balcony components in various areas to evaluate their conditions. It was determined that the existing edge flashing is no longer serving its designed purpose and should be replaced in its entirety. Refer to details provided for repair procedure. The exterior rim track that spans North and South on the balcony has significant deterioration in various sections and should be replaced in its entirety or as determined by the engineer. Refer to details below for repair procedure. It was observed that various C-joist members have significant corrosion present in the top and bottom flanges. It is estimated that approximately 50 members will require a splice repair as shown in the details below. The engineers removed the soffit from the 3rd floor balcony. This was done adjacent to the exterior wall of Unit 23. It was observed that there was no vapor or air barrier installed along the exterior wall at the balcony soffit line. It is recommended that all soffits be removed, and a vapor and air barrier be installed per the details included below. This should be installed for the full length of the building. Refer to images below.

Estimated Cost of Work

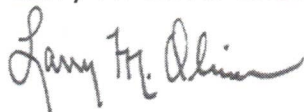
It is the opinion of this engineer that the scope of work provided within this report will cost the association an estimated \$75,000 - \$125,000.

Sincerely,



Jordan Aubrey, EIT

Larry M. Oliver Enterprises, Inc.



INSPECTION REPORT

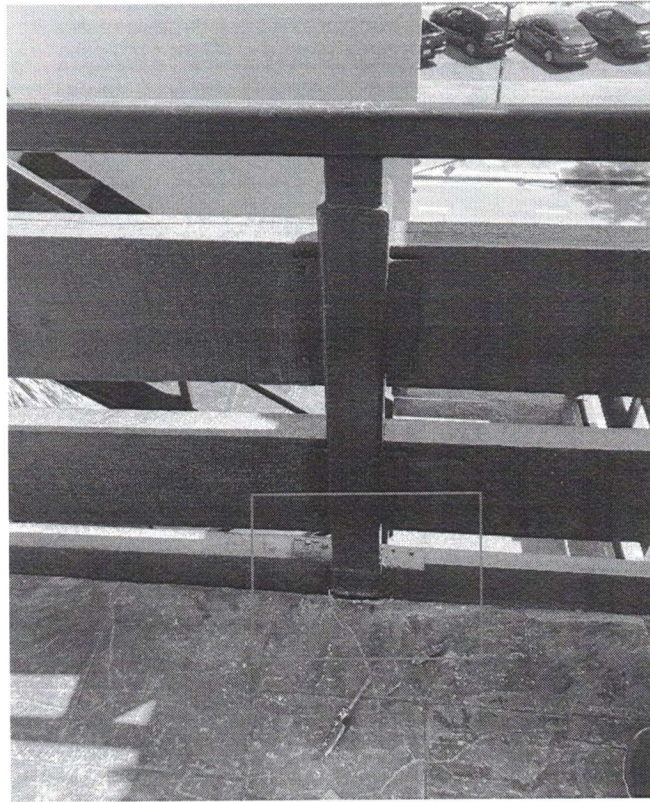


Photo No. 1 – South Stairwell Column Repair Location No. 1

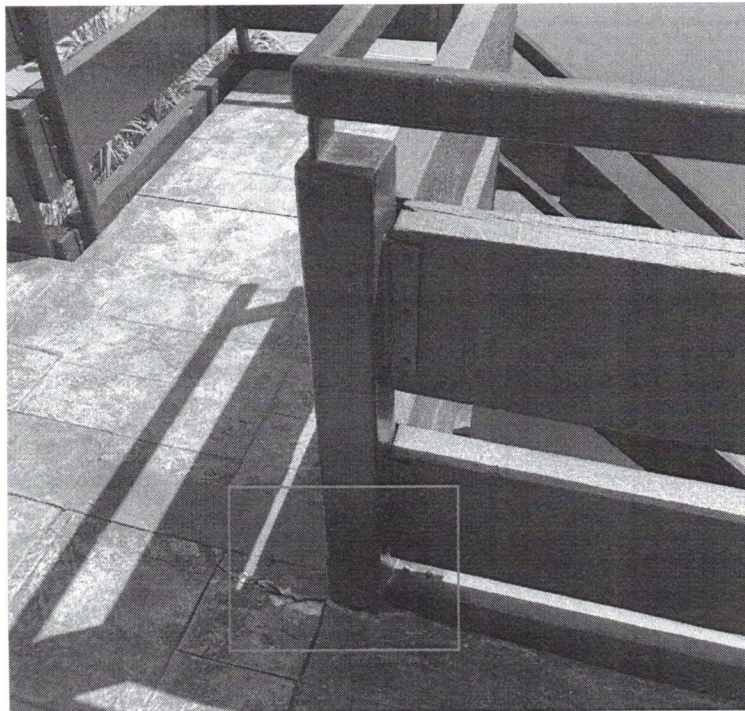


Photo No. 2 – South Stairwell Column Repair Location No. 2

INSPECTION REPORT

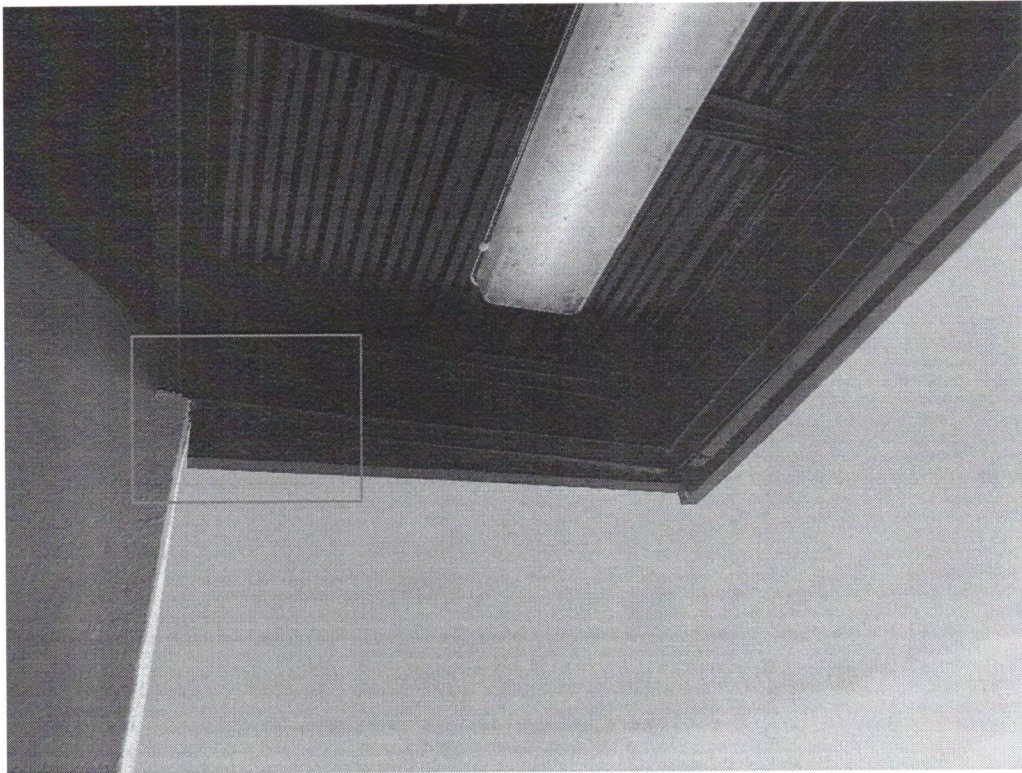


Photo No. 3 – South Stairwell Type I Repair

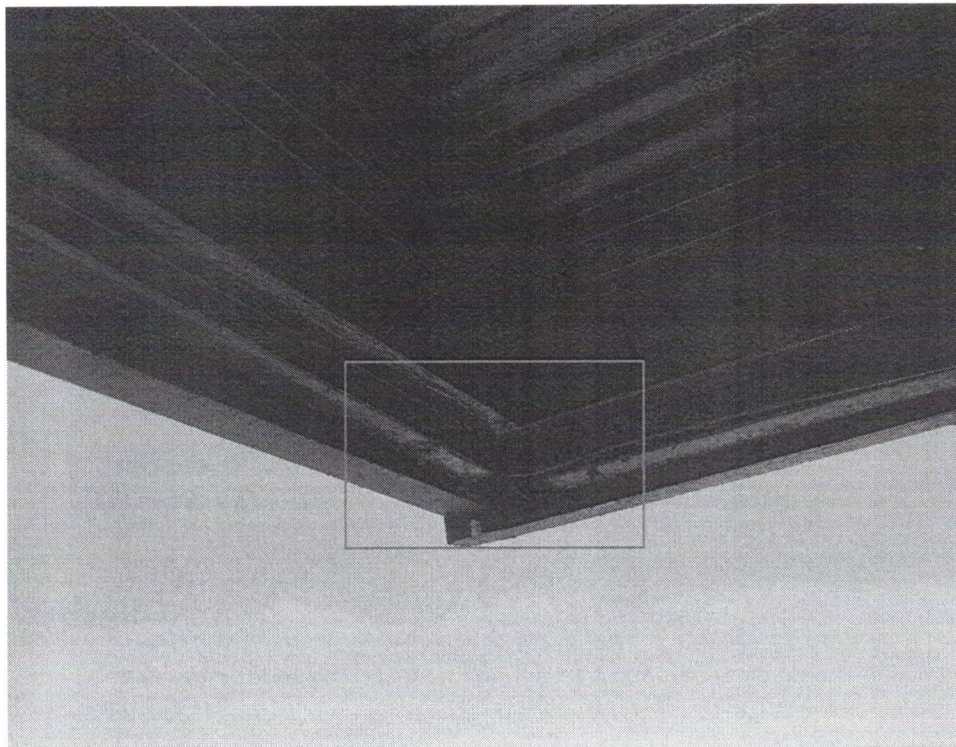


Photo No. 4 – South Stairwell Type I Repair

INSPECTION REPORT

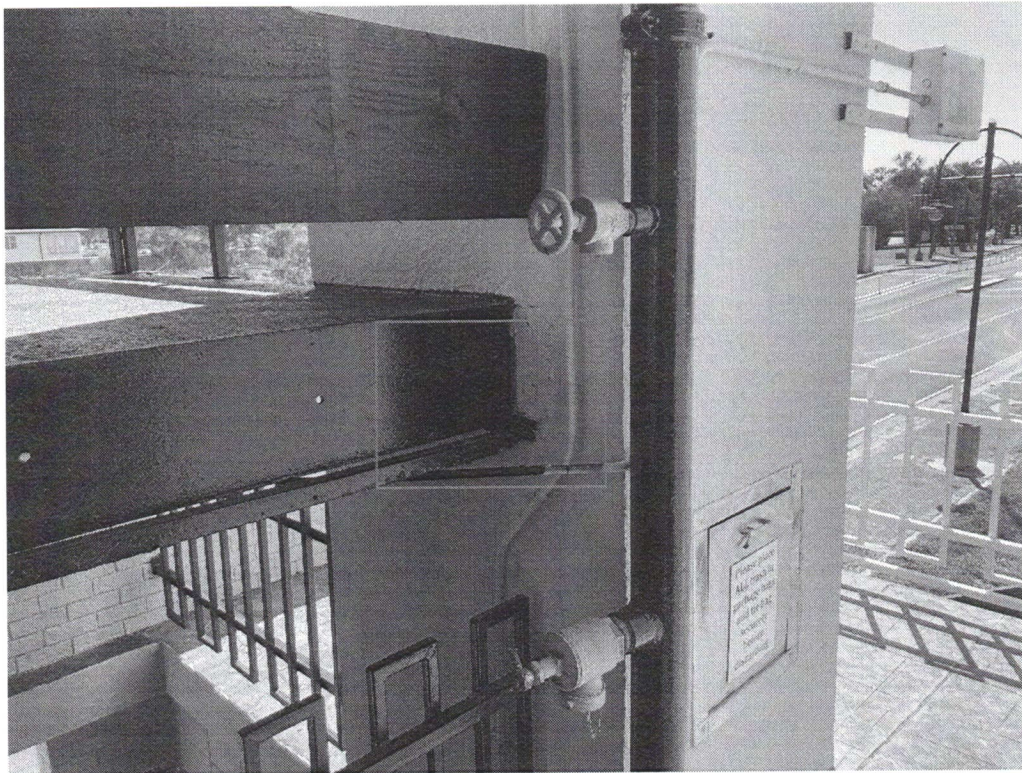


Photo No. 5 – South Stairwell Type I Repair

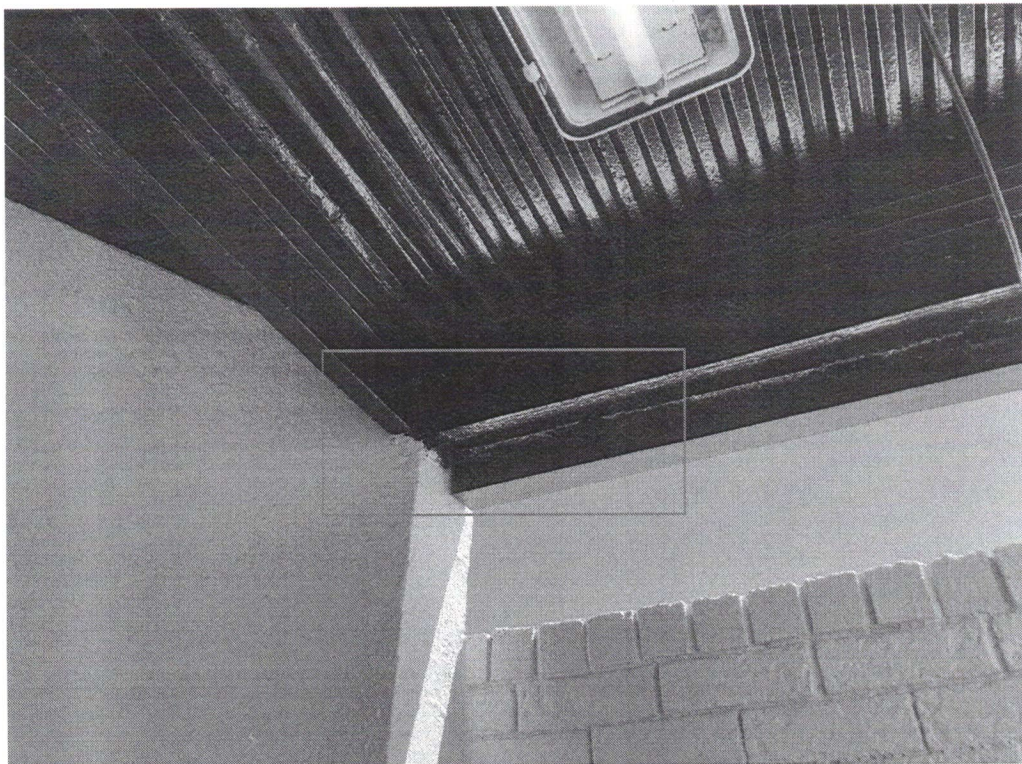


Photo No. 6 – South Stairwell Type I Repair



Photo No. 7 – South Stairwell Type II Repair



Photo No. 8 – Center Stairwell Column Repair Relocation No. 3

INSPECTION REPORT

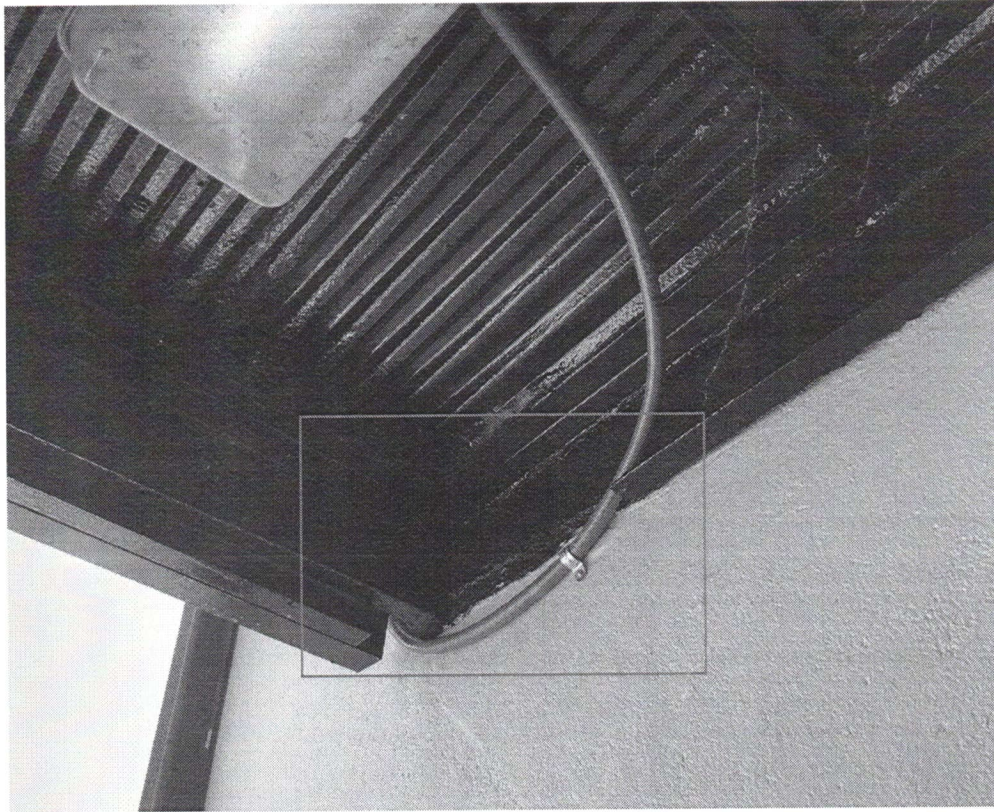


Photo No. 9 – Center Stairwell Type II Repair

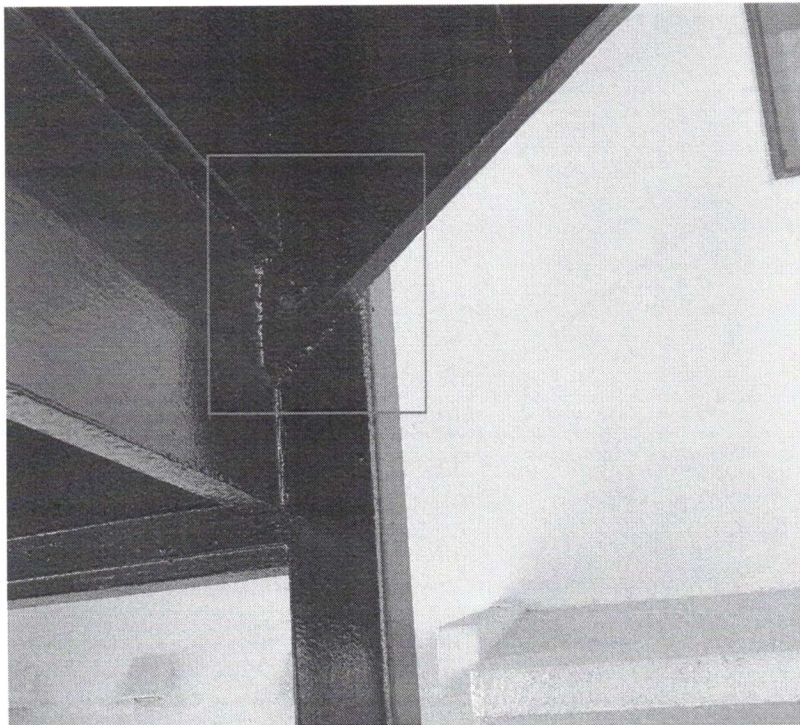


Photo No. 10 – Center Stairwell Type II Repair



Photo No. 11 – Center Stairwell Type II Repair

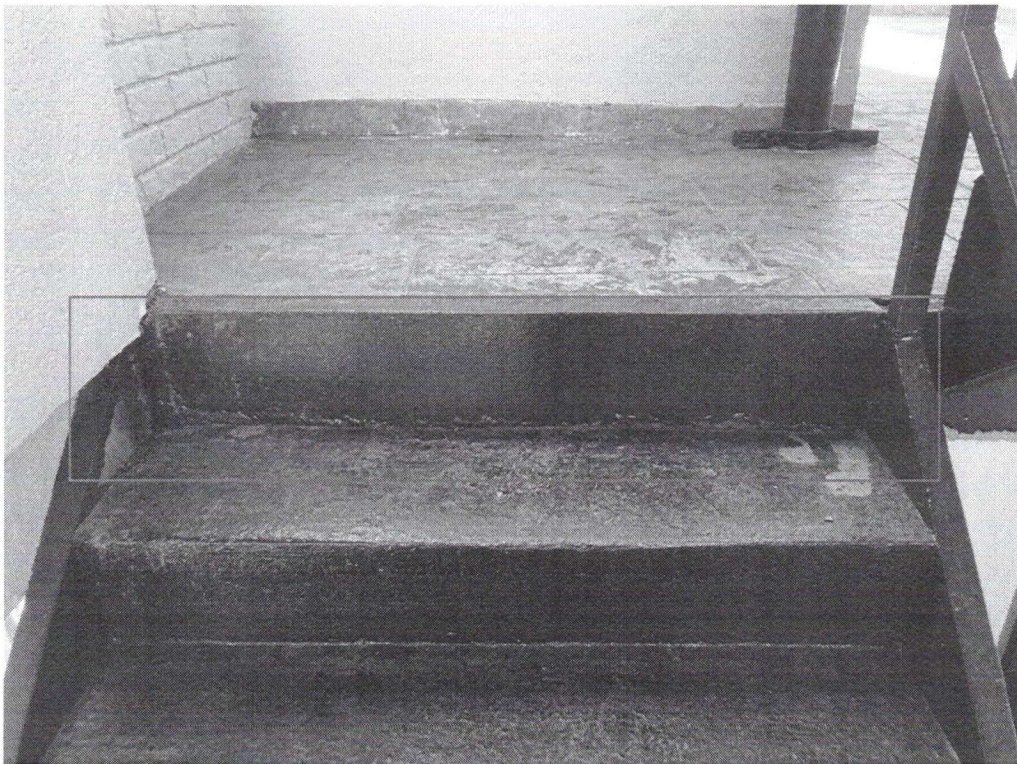


Photo No. 11 – Center Stairwell Type II Repair

INSPECTION REPORT



Photo No. 12 – Center Stairwell Type II Repair



Photo No. 13 – Center Stairwell Type II Repair

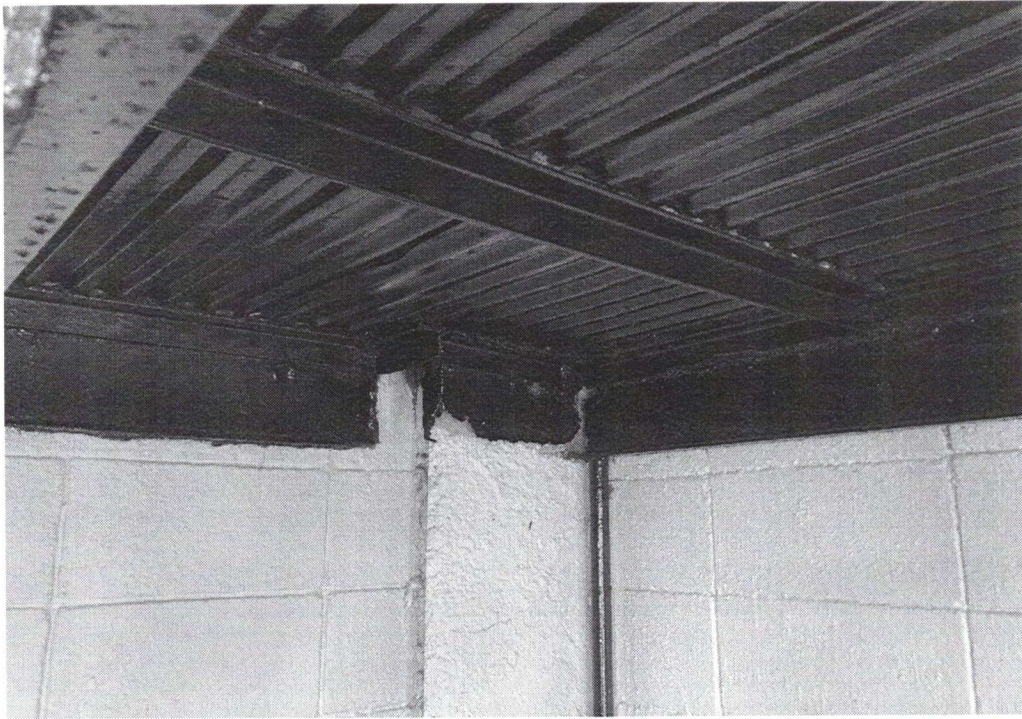


Photo No. 14 – Center Stairwell Type II Repair



Photo No. 15 – West Stairwell Column Repair Location No. 4



Photo No. 16 – West Stairwell Type I Repair



Photo No. 17 – West Stairwell Type I Repair



Photo No. 18 – West Stairwell Type I Repair



Photo No. 19 – West Stairwell Type I Repair

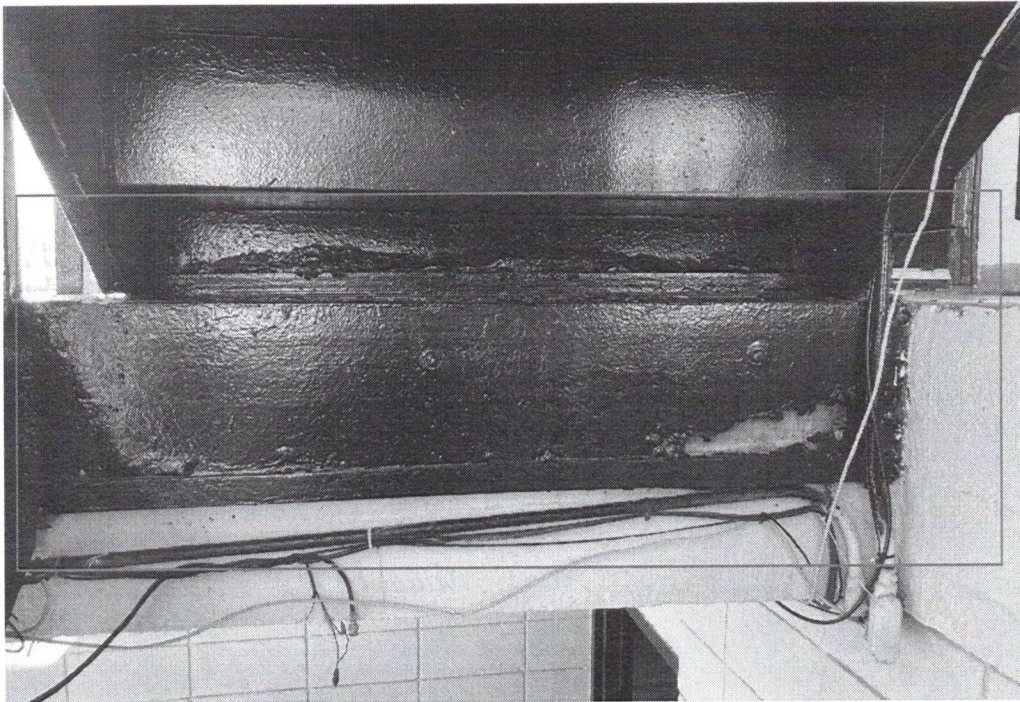


Photo No. 20 – West Stairwell Type II Repair

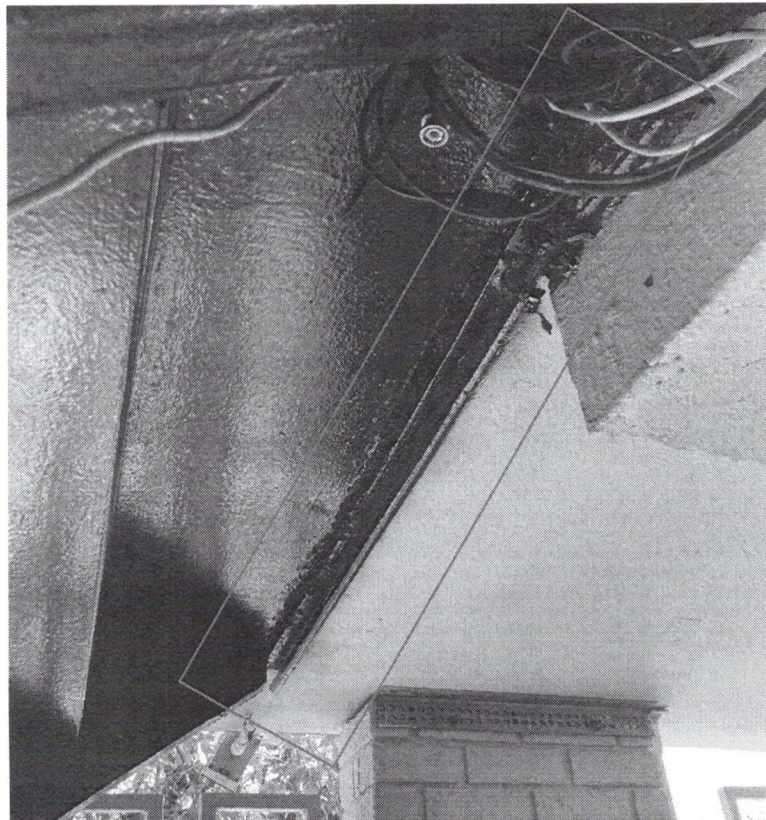


Photo No. 21 – West Stairwell Type I Repair



Photo No. 22 – West Stairwell Type II Repair

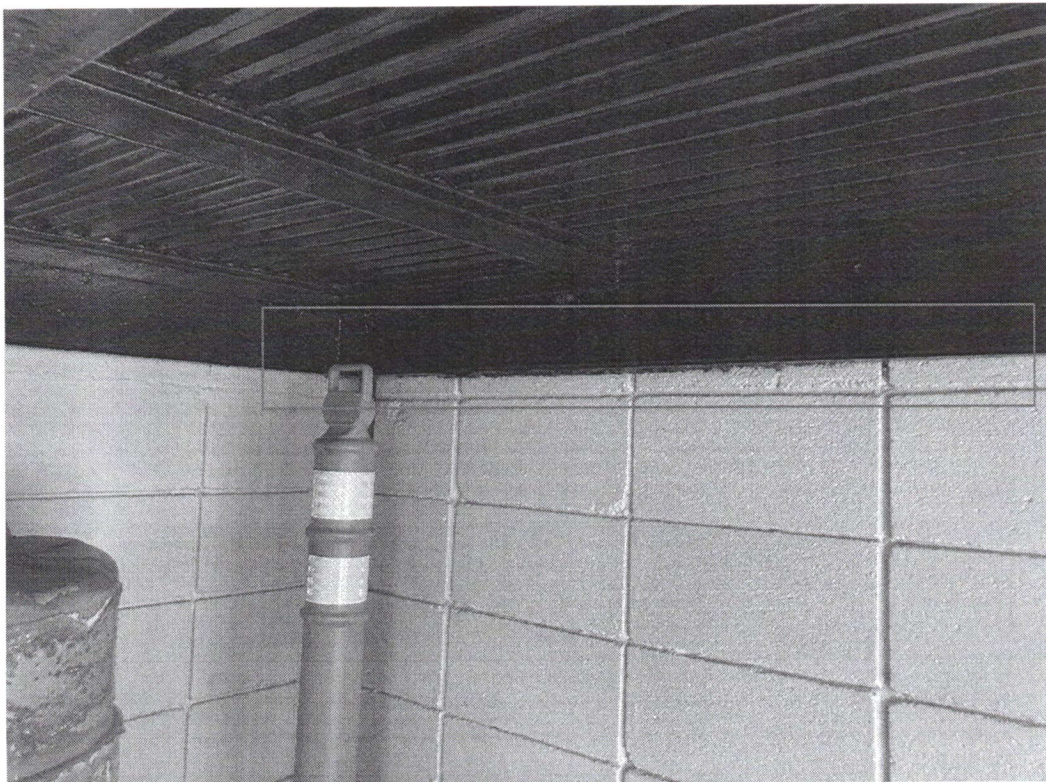


Photo No. 23 – West Stairwell Type I Repair

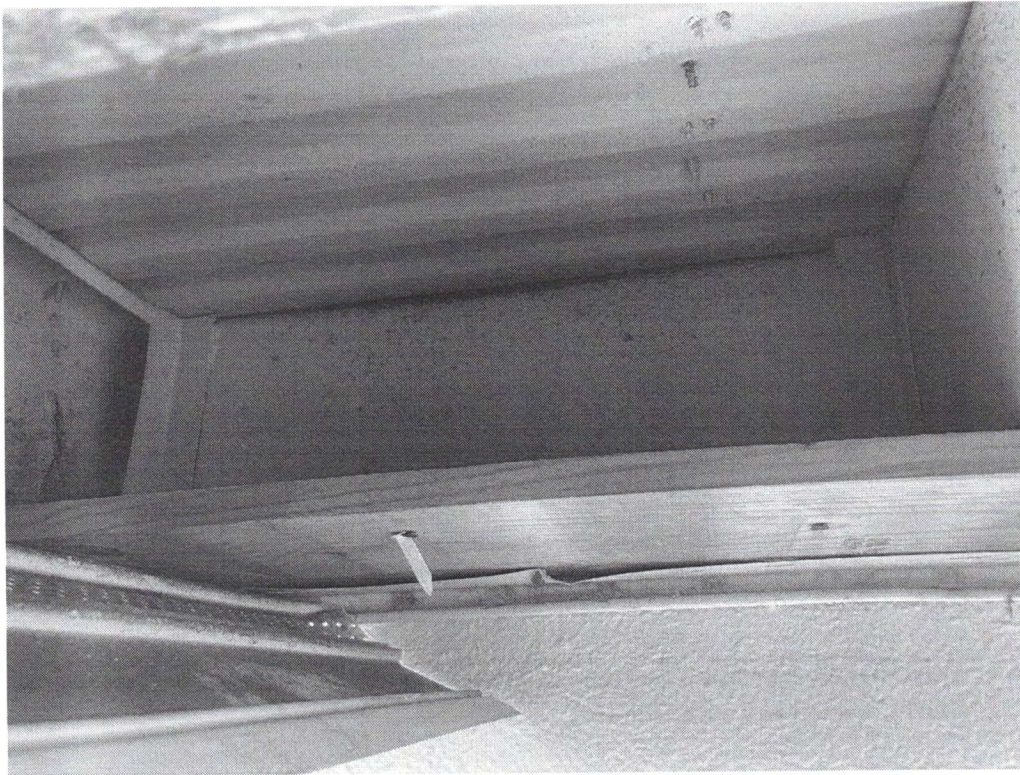


Photo No. 24 – Typical Section at East Exterior Wall

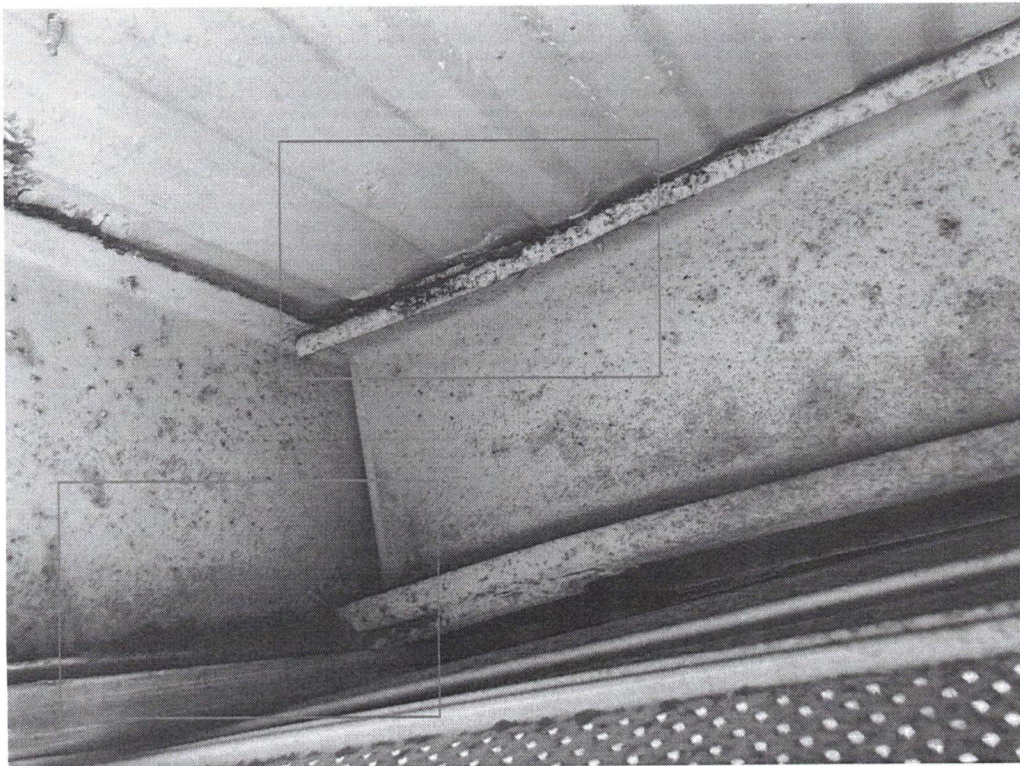


Photo No. 25 – Deteriorated C-Joist and Rim Joist to be Replaced



Photo No. 26 – Deteriorated Rim Joist to be Replaced

METAL COATING

PART 1 - GENERAL

1.1 SUMMARY

A. Section Includes:

Cleaning, sanding, priming, and coating all metal on East stairwells. The metal has been classified into **Type I and II** categories.

Type I category metal show signs of paint flaking and rusting on the member. The rust shall be removed by wire brush or mechanical method. These are to be cleaned, primed, and two finish coats applied as stated in sections below.

Type II category metal has significant loss of member due to advanced corrosion on the member. The rust shall be moved by mechanical method until sound metal is found at its original thickness. These are to be repaired by welding a splice plate of equal or greater thickness than the existing member to the sound metal. New splice shall be cleaned, primed, and two finish coats applied as stated in sections below.

A list of each member under each category is located in the picture section of the report.

1.2 PREPARATION

Remove all mildew from with bleach and water solution mixed 2 to 1 ratio. Scrape and remove all loose and flaking paint from until remaining material is firmly bonded to substrate. Steel brush and remove rust from members. Scuff sand with 100 grit sandpaper first and then with 150 grit sandpaper to achieve smoothness and dullness in appearance. Refer to manufacturer's requirements for surface preparation.

1.3 COATING DESCRIPTION

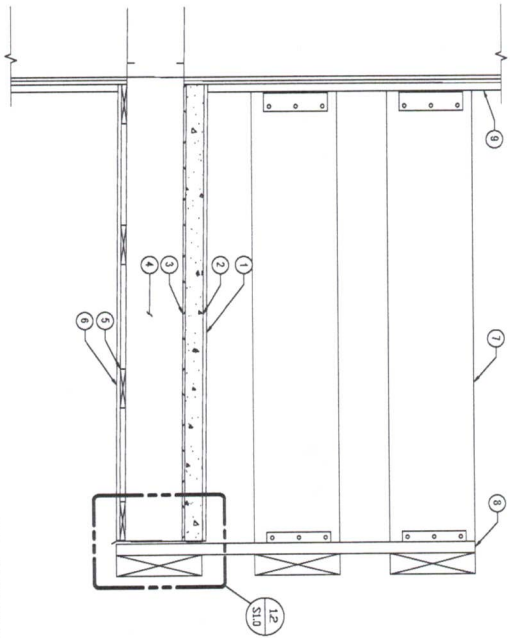
- A. After cleaning and allowing to properly dry, apply Sherwin Williams B50WZ primer or equal 4-5 wet mils to any area where the metal surface has been exposed
- B. Prior to applying finish, existing coating should be completely sanded until dull in appearance. After sheen has been removed from coating, wipe down with denatured alcohol to remove all dust and dirt. Once wiped down and allowed to dry, apply new finish Sherwin Williams B55W00101 or equal 4-5 wet mils evenly until desired looking finish has been achieved.
- C. Apply second coat of finish after 4 to 6 hours of dry time depending on the weather conditions per manufacturer specifications. Apply finish coat uniformly across surface and maintain wet edge to achieve desired looking results.
- D. Refer to manufacturer for application requirements.

PART 2 - PRODUCTS

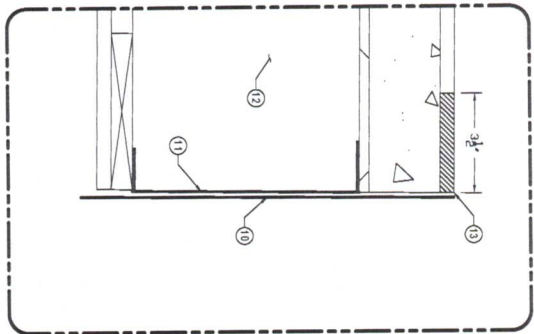
2.1 MANUFACTURERS

- A. Sherwin Williams or approved equal.

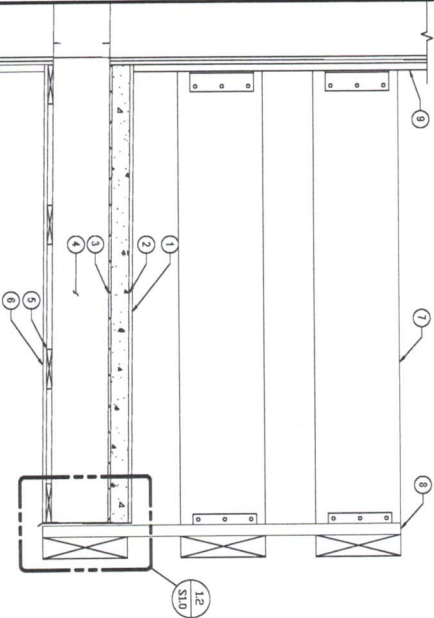
END OF SECTION



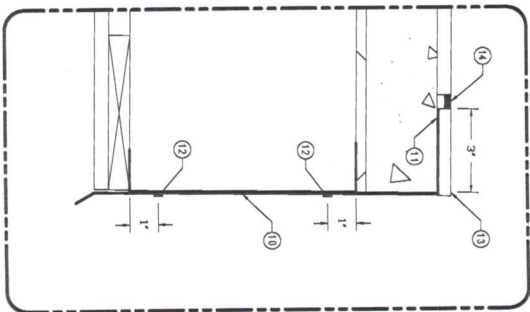
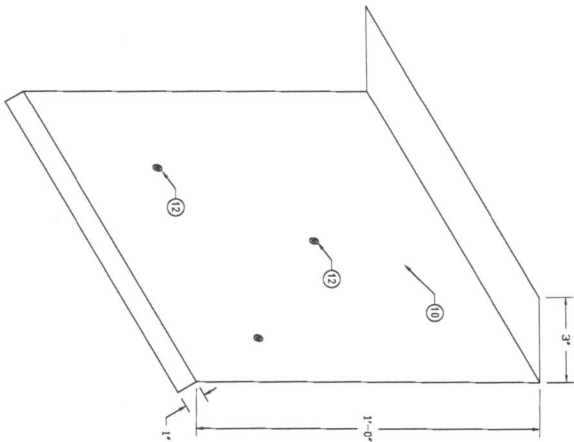
- BUBBLE CALLOUT LEGEND**
1. EXISTING STAMPED CONCRETE
 2. TOPPING CONCRETE SLAB
 3. EXISTING STEEL REINFORCING
 4. EXISTING 8" C-JOIST w/ 8" RIM TRACK CONTINUOUS ALONG OUTSIDE EDGE
 5. VARIOUS FLASHING FOR SOFFIT
 6. VINYL SOFFIT
 7. TYPICAL 3X12 ROUGH SAWN CEDAR HANDRAIL BEARD
 8. EXISTING 1.57X1.57" TUBE HANDRAIL POST
 9. EXTERIOR FACE OF BUILDING
 10. REMOVE EXISTING FLASHING FROM EXTERIOR FACE OF BUILDING
 11. REPAIR EXISTING RIM JOIST ACCORDING TO PLANS
 12. REPAIR EXISTING STRUCTURAL STEEL MEMBERS ACCORDING TO PLANS
 13. REMOVE 3/4" OF EXISTING STAMPED CONCRETE OVERLAY ALONG EXTERIOR THIRD LEVEL BALCONY



1.1 DEMOLITION PLAN OF EXISTING BALCONY EDGE FLASHING
VARIES



- BUBBLE CALLOUT LEGEND**
1. EXISTING STAMPED CONCRETE
 2. EXISTING CONCRETE SLAB
 3. EXISTING STEEL REINFORCING
 4. EXISTING 8" C-JOIST w/ 8" RIM TRACK CONTINUOUS ALONG OUTSIDE EDGE
 5. VARIOUS FLASHING FOR SOFFIT
 6. VINYL SOFFIT
 7. TYPICAL 3X12 ROUGH SAWN CEDAR HANDRAIL BEARD
 8. EXISTING 1.57X1.57" TUBE HANDRAIL POST
 9. EXTERIOR FACE OF BUILDING
 10. NEW BALCONY EDGE COUNTER FLASHING
 11. FLASHING APPLIED TO UNDERSIDE OF FLASHING PRIOR TO FLASHING
 12. INSTALLATION METAL FASTENERS
 13. NEW STAMPED CONCRETE OVERLAY
 14. FLASHING JOINT BETWEEN OLD AND NEW OVERLAY



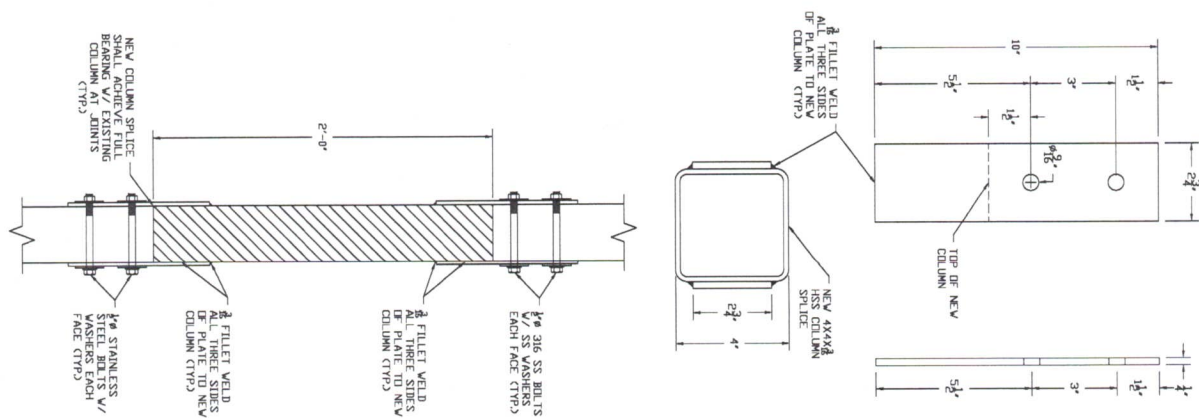
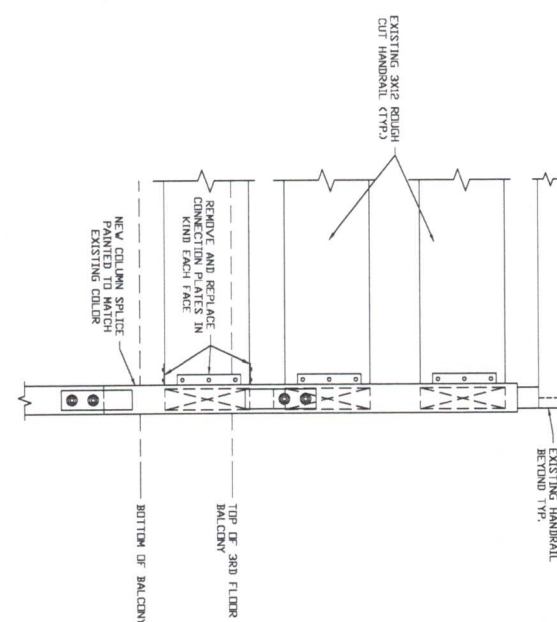
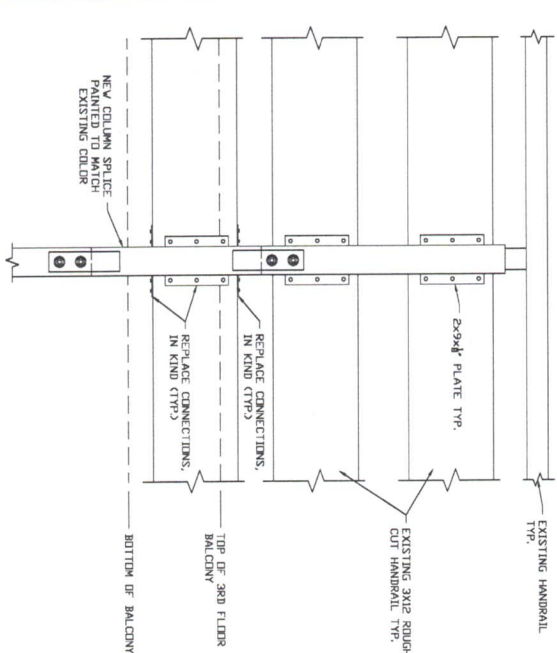
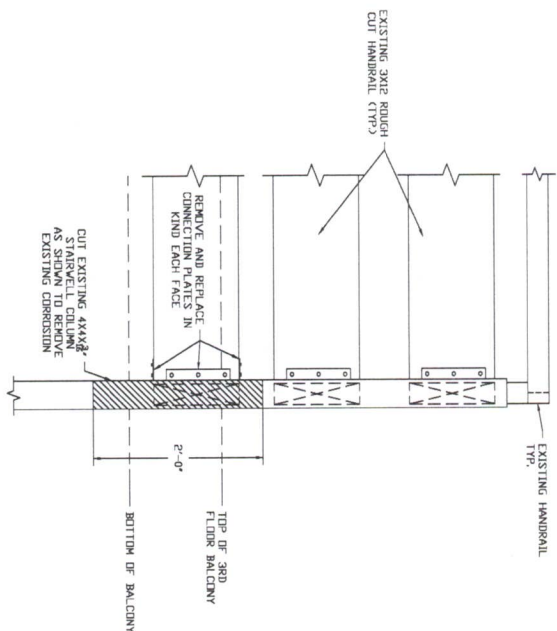
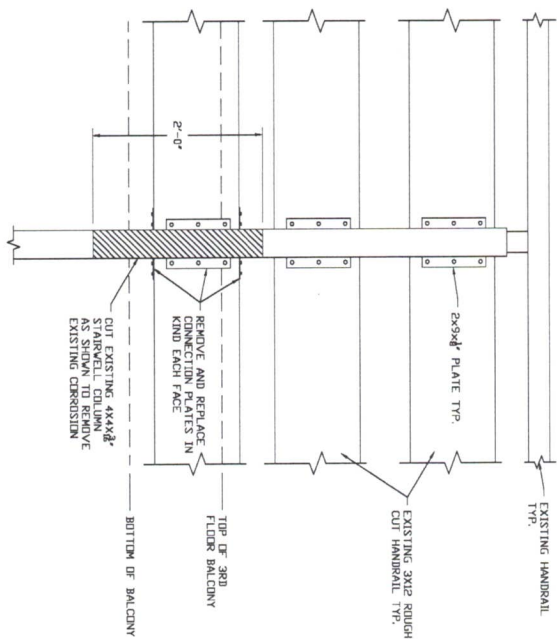
1.2 NEW 3RD FLOOR BALCONY EDGE FLASHING DETAIL
VARIES

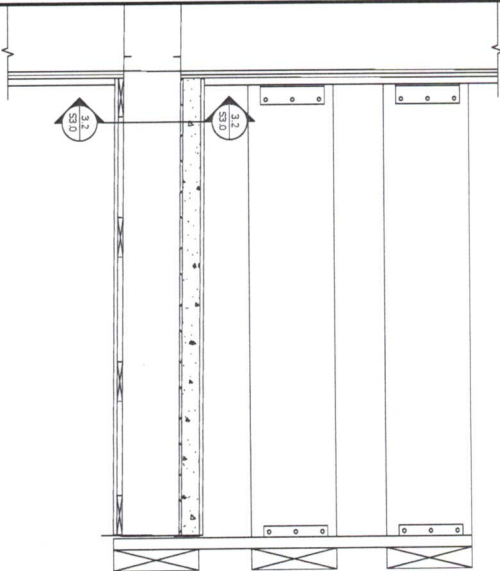
CONSTRUCTION DETAILS
FOR
LIGHTHOUSE HARBOR CONDOMINIUMS
NEW ORLEANS
LOUISIANA

Larry M. Oliver
Enterprises, Inc.
CREATED BY ARCHITECTURAL
DRAWING
7/20/01
REVISED 12/20/01
1-800-368-7878

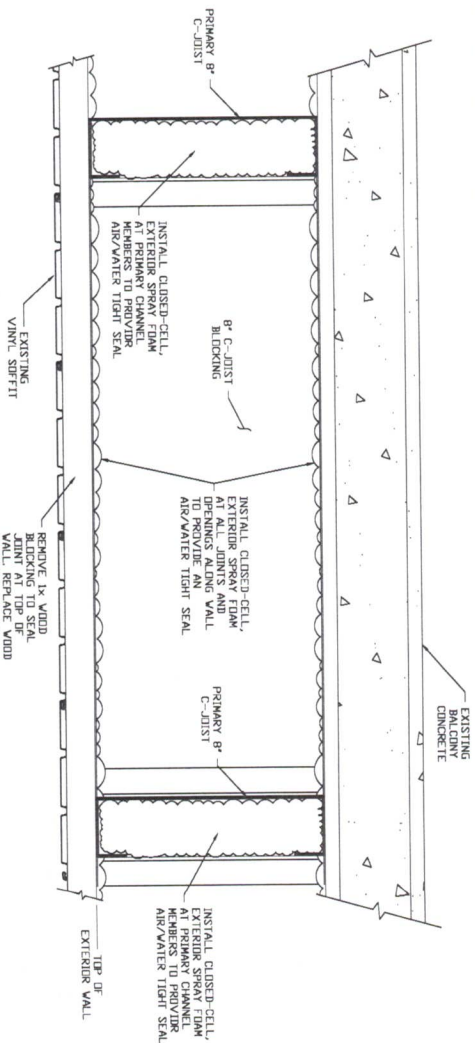


JOB NO.:
DRAWN:
CHECKED:
DATE: 10-3-2022
REVISION:
SCALE: VARIOUS
SHEET NO.: S1.0
DETAILS

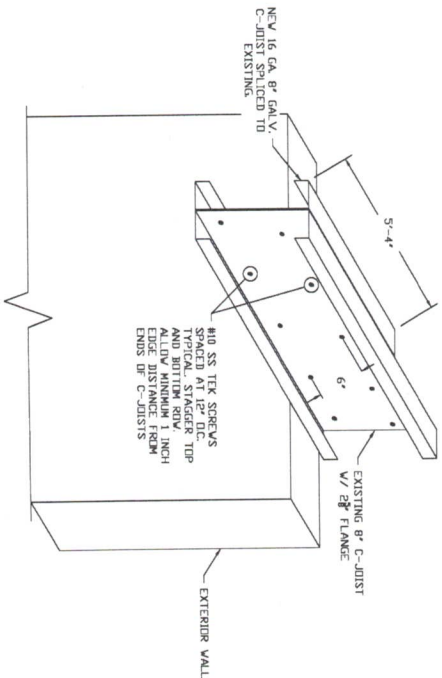




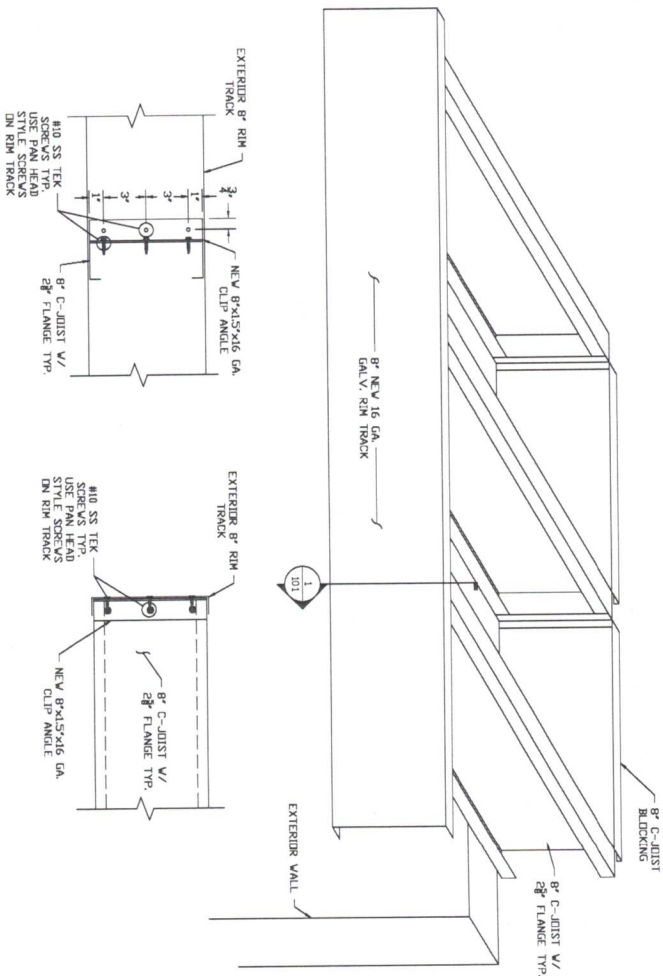
3.1 EXISTING 3RD FLOOR BALCONY ELEVATION
3'-0" x 1'-0"



3.2 SPRAY FOAM INSTALLATION DETAIL
6'-1'-0"



3.3 TYPICAL C-JOIST SPLICE DETAIL
3'-4'-0"



3.4 TYPICAL RIM TRACK REPLACEMENT DETAIL
3'-1'-0"

CONSTRUCTION DETAILS
FOR
LIGHTHOUSE HARBOR CONDOMINIUMS
NEW ORLEANS
LOUISIANA

JOB NO.:
DRAWN:
CHECKED:
DATE: 10-3-2022
REVISION:
SCALE: VARIOUS
SHEET NO.: S3.0
DETAILS

Larry M. Oliver
Enterprises, Inc.
CERTIFICATE OF AUTHORIZATION
CONTRACT NO. 20-070001
ISSUED: 08/09/2020



A. DUTIES AND RESPONSIBILITIES

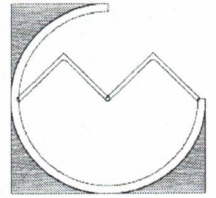
- DETAILS APPLY WHETHER OR NOT THEY ARE KEYED IN AT EACH LOCATION. VARIOUS CONDITIONS ARE NOT SPECIFICALLY SHOWN.

14. WHERE "CONTINUOUS CHORD" ANGLES ARE INDICATED, PRO-
OF 50 KSI.

- SECRET FORTH INSPECTION

SCALE:	VARI:
SHEET NO:	
S4.0	

LARRY M. OLIVER ENTERPRISES, INC.
7228 Oakbriar Dr. S
Mobile, AL 36619
251-377-6101
CA-4930-E



CONSULTANT/OWNER AGREEMENT
FOR PROFESSIONAL SERVICES

Larry M. Oliver Enterprises, Inc. (Consultant) shall provide to the Lighthouse Harbor Condominium Owner's Association (Owner) through its representative, the Owners' Association Board of Directors, the following engineering services to provide structural inspection and report for the complex located at 7300 Lakeshore Drive, New Orleans, Louisiana as described below:

I. PROPOSED SERVICES

1. Scope of Work

- A. Consultant shall inspect and determine extent of damage of front walkway soffit structure:
 - a. By installing scaffolding for work platform
 - b. by removing and replacing walkway under pining
 - c. Inspecting condition of walkway support system and documenting size and dimensions of failed structural members
- B. Consultant shall prepare plans and specifications for restoration of walkway soffit support system
- C. Consultant shall inspect and determine extent of damage of front walkway steel stairs
- D. Consultant shall prepare plans and specifications for restoration of walkway steel stairs

2. Items not included

- A. No electrical or plumbing
- B. Other items not specifically listed

3. Items to be supplied by owner

- A. Original building construction plans
- B. Access to all areas to be inspected

II. QUALIFICATIONS

- A. All proposed services of work not specifically described are hereby not included within this contract agreement, unless otherwise agreed to in writing by both parties. Any additional work shall be invoiced according to hourly costs for on-site services based on a three-hour minimum charge at half hour increments. Final cost for any additional work will be based on actual time spent that is associated with the project.
- B. Prices quoted within this proposal shall remain firm for thirty (30) days from the date of this proposal. Consultant can proceed with our services within fourteen (14) days of receiving an executed copy of this proposal.
- C. Time associated with additional reporting, services, and attendance at any board meetings or other requested meetings is not quoted within this proposal and will be charged as additional services according to our Corporate Hourly Fee Schedule.
- D. One (1) electronic copy of the report will be submitted to the board.
- E. The Owner agrees to defend, indemnify, and release the Consultant of any liability or claims arising during the demolition and repair process, unless such a claim is the result of prior negligent acts by the Consultant.
- F. Consultant will coordinate and provide any field supplies and equipment necessary to perform any of the proposed services. These costs are included within this proposal.
- G. The Consultant is providing a service, not a product. All photographs and other documents are Instruments of Service. Documents shall be provided to the Owner for use on this project only and may not be reused on other projects or distributed without written permission from the Consultant.
- H. Consultant's services will be performed, its findings obtained, and its reports prepared in accordance with generally accepted principles and practices. In performing its professional services, Consultant warrants that he will use the degree of skill and care ordinarily exercised under similar circumstances by members of its profession. This warranty is in lieu of all other warranties or representations, whether expressed or implied.
- I. To the fullest extent permitted by law, the total liability in the aggregate, of

Consultant and Consultant's officers, directors, employees, agents, and independent professional associates, and any of them, to Owner and any one claiming by, through or under Owner, for any and all injuries, claims, losses, expenses, or damages whatsoever arising out of or in any way related to Consultant's services, the project, or this Agreement, from any cause or causes whatsoever, including but not limited to, the negligence, errors, omissions, strict liability, breach of contract, misrepresentation, or breach of warranty of Consultant or Consultant's officers, directors, employees, agents, or independent professional associates, or any of them, shall not exceed the total compensation received by Consultant under this Agreement. The Agreement cost is predicated on this limitation of liability.

- J. Should Owner object to this provision, then said Contract cost will be renegotiated by Consultant and Owner to account for the increase in Consultant's potential liability. Any objection by the Owner to this limitation must be conveyed to Consultant prior to Owner's acceptance of this Contract.
- K. In any event of any litigation arising from or related to this Agreement or the services provided under this Agreement, the prevailing party shall be entitled to recover from the non-prevailing party all reasonable costs incurred, including staff time, court costs, attorney's fees and all other related expenses in such litigation.

III. PAYMENT TERMS AND CONDITIONS

Scaffolding	\$ 1,800.00
Inspection	\$ 4,800.00
Plans and Specifications	<u>\$ 1,600.00</u>

TOTAL ENGINEERING FEES	\$ 8,200.00
-------------------------------	--------------------

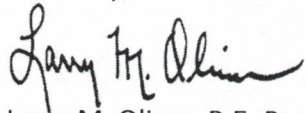
Upon completion of each item of work as stated above, an invoice will be submitted for payment. Payment shall be rendered within 10 days after receipt of invoice.

The effective date of this contract acceptance is the date signed by the Contracting Officer below.

Signature below by an authorized representative of your board of directors indicates acceptance of this contract.

A fully executed copy of this proposal will be required prior to scheduling any services.

Sincerely,

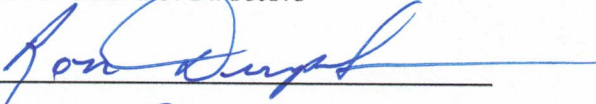


Larry M. Oliver, P.E. President

August 15, 2022

ACCEPTED BY:

Lighthouse Harbor Board of Directors

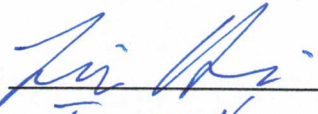
Signature: 

Typed Name: RON DUPLESSIS

Official Title: PRESIDENT LIGHTHOUSE HARBOR H/OA

Date: 8-17-22

Witness:

Signature: 

Typed Name: Travis Korzelski

Address: 365 Little John Dr

Baton Rouge, LA 70815

Date: 8-17-22